



Moreno

M E D I C A L C A M P U S

Features

- ◆ Planned upscale medical condos for sale or lease
- ◆ Contiguous to Moreno Valley Community Hospital (Privately owned & operated)
- ◆ Adjacent to planned Aqua Bella active adult community of +3,000 homes
- ◆ Phase 1 consisting of two high image medical buildings ±40,000 SF each
- ◆ Additional ±5 acres available for build-to-suit opportunities
- ◆ ±2,189 residential units under construction with ±2,419 planned in area



For More Information

MANO LEVENTAKIS
 909.605.1100
 MANO.LEVENTAKIS@GRUBB-ELLIS.COM

BERNIE A. PINEIROS
 951.530.1709
 BERNARDO.PINEIROS@GRUBB-ELLIS.COM

NANCY AUSTIN
 951.334.5500
 NAUSTIN@AUSTIN-BROCKETT.COM

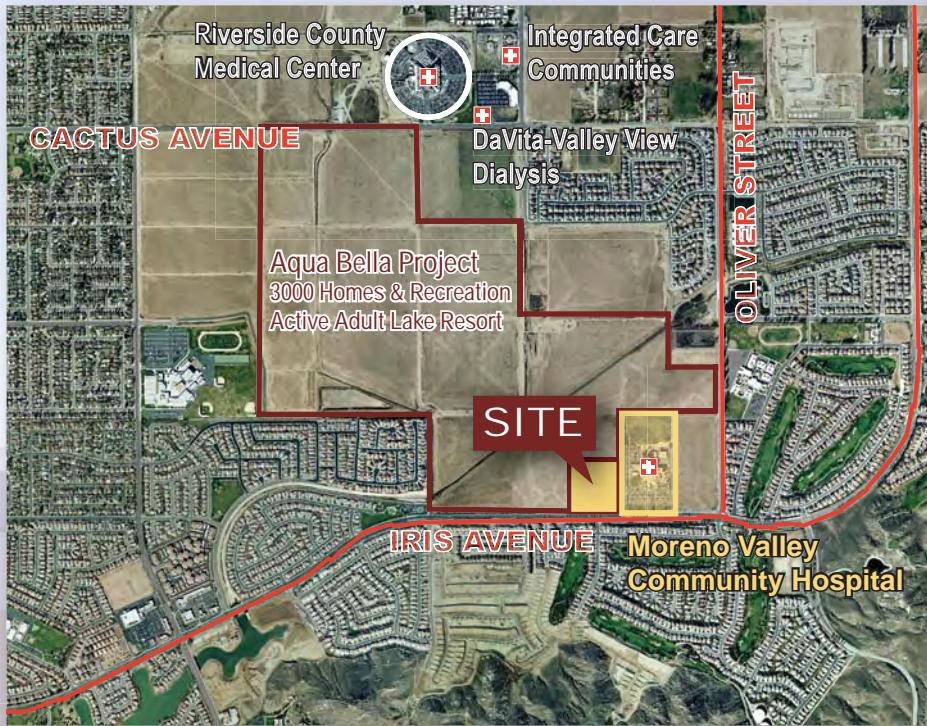


GRUBB & ELLIS COMPANY | 3401 Centrelake Drive, Suite 500, Ontario, CA 91761 | Tel: 909.605.1100 Fax: 909.390.8645 www.grubb-ellis.com
The information contained herein was obtained from third parties, and has not been independently verified by the real estate brokers. Buyers/tenants should have the experts of their choice inspect the property and verify all information. Real estate brokers are not qualified to act as or select experts with respect to legal, tax, environmental, building construction, soils-drainage or other such matters.



Moreno

M E D I C A L C A M P U S



- ◆ Anticipated ground breaking October 2007
- ◆ Additional information and pricing to follow

For More Information

MANO LEVENTAKIS
 909.605.1100
 MANO.LEVENTAKIS@GRUBB-ELLIS.COM

BERNIE A. PINEIROS
 951.530.1709
 BERNARDO.PINEIROS@GRUBB-ELLIS.COM

NANCY AUSTIN
 951.334.5500
 NAUSTIN@AUSTIN-BROCKETT.COM



GRUBB & ELLIS COMPANY | 3401 Centrelake Drive, Suite 500, Ontario, CA 91761 | Tel: 909.605.1100 Fax: 909.390.8645 www.grubb-ellis.com
The information contained herein was obtained from third parties, and has not been independently verified by the real estate brokers. Buyers/tenants should have the experts of their choice inspect the property and verify all information. Real estate brokers are not qualified to act as or select experts with respect to legal, tax, environmental, building construction, soils-drainage or other such matters.



Moreno

M E D I C A L C A M P U S

Moreno Valley Community Hospital Fact Sheet

- ◆ Health Care provider since 1990
- ◆ Facility of Valley Health System, A California Local Health Care District
- ◆ 101 bed facility with Center for Behavioral Medicine
- ◆ 150 physicians on staff, over 300 employees
- ◆ Service area has an approximate population of 178,570
- ◆ Median age of 32.7 and average household income of \$58,488 within a 15-mile radius.

Services

- ◆ Inpatient Care-
 - Medical Surgical, Pediatrics, Obstetrics
 - Intensive / Critical Care
 - Center for Behavioral Medicine
 - Diagnostic Support
- ◆ Complete Imaging
 - X-ray, MRI, Ultrasound, Nuclear Medicine, Mammography
 - Neuro Diagnostics
 - Endoscopy
 - Clinical & Anatomical Laboratory
- ◆ Cardiopulmonary
 - ECG, Echo cardiology
 - Pulmonary Function
- ◆ Outpatient
 - ER
 - Day Surgery
 - Rehabilitation; Physical, Occupational and Speech Therapy

For More Information

MANO LEVENTAKIS
 909.605.1100
 MANO.LEVENTAKIS@GRUBB-ELLIS.COM

BERNIE A. PINEIROS
 951.530.1709
 BERNARDO.PINEIROS@GRUBB-ELLIS.COM

NANCY AUSTIN
 951.334.5500
 NAUSTIN@AUSTIN-BROCKETT.COM



GRUBB & ELLIS COMPANY | 3401 Centrelake Drive, Suite 500, Ontario, CA 91761 | Tel: 909.605.1100 Fax: 909.390.8645 www.grubb-ellis.com
The information contained herein was obtained from third parties, and has not been independently verified by the real estate brokers. Buyers/tenants should have the experts of their choice inspect the property and verify all information. Real estate brokers are not qualified to act as or select experts with respect to legal, tax, environmental, building construction, soils-drainage or other such matters.

Area Development Projects

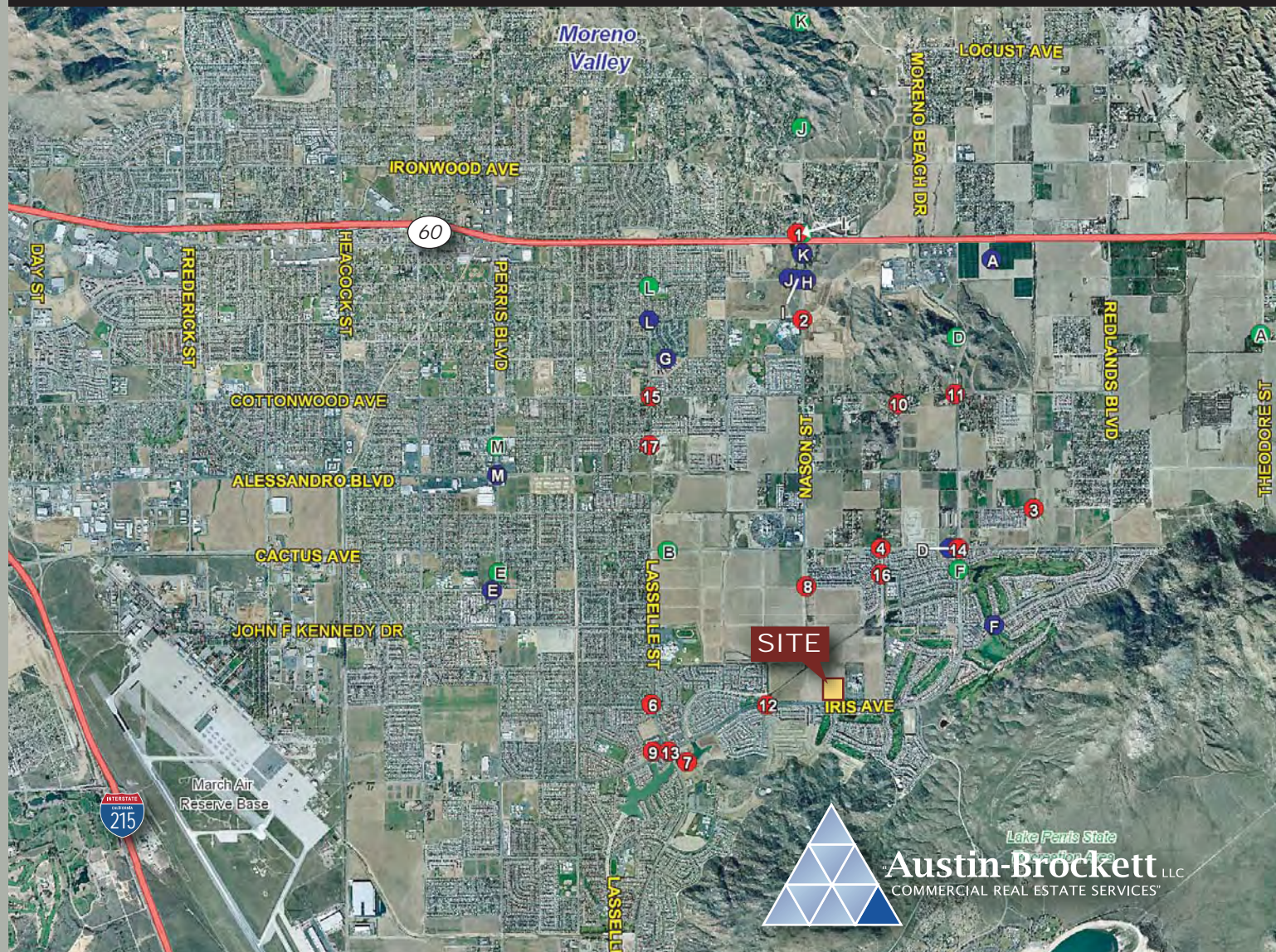
Map #	Count	Single Family Under Construction
A	246	Alliance Residential
B	105	Beazer Homes
C	274	Beazer Homes
D	176	Broadstone MV Ranch
E	64	Delphinium & Perris Apt
F	138	DR Horton
G	206	Dracaea Avenue Apts
H	172	Empire Commercial
I	304	Empire Commercial
J	126	Forecast Homes
K	165	Forecast Homes
L	60	Moreno Valley Investors
M	103	Palm Desert Dev.

#	Count	Single Family Approved
1	205	Beazer Homes
2	129	Beazer Homes
3	114	Corman Leigh
4	74	DR Horton
5	145	DR Horton
6	137	Forecast Homes
7	234	Forecast Homes
8	189	Forecast Homes
9	19	HL Homes
10	13	Kincaid
11	144	Meritage Homes
12	232	Pacific Communities
13	247	Pacific Communities
14	53	Pinnacle Communities
15	17	Stonewood Homes
16	404	Western Pacific
17	63	Western Pacific

#	Count	Multi-Family Projects
A	246	Alliance Residential
B	105	Beazer Homes
C	274	Beazer Homes
D	176	Broadstone MV Ranch
E	64	Delphinium & Perris Apt
F	138	DR Horton
G	206	Dracaea Avenue Apts
H	172	Empire Commercial
I	304	Empire Commercial
J	126	Forecast Homes
K	165	Forecast Homes
L	60	Moreno Valley Investors
M	103	Palm Desert Dev.

Moreno

MEDICAL CAMPUS



The information contained herein was obtained from third parties, and has not been independently verified by the real estate brokers. Buyers/tenants should have the experts of their choice inspect the property and verify all information. Real estate brokers are not qualified to act as or select experts with respect to legal, tax, environmental, building construction, soils-drainage or other such matters.



Grubb & Ellis
Property Solutions Worldwide

RECEIPT FOR RESERVATION DEPOSIT

Omni Moreno Valley LLC, a Delaware limited liability company ("Developer") is the owner and developer of certain real property located in the city of Moreno Valley, California (the "Property") (APN 486-310-024)

1. Developer intends to construct at least two and possibly four 2-story medical office buildings ("Buildings") on the Property and to further subdivide the Buildings into individual office condominium units for sale and/or lease.

2. Developer is currently taking reservation deposits from parties expressing interest in receiving pricing, terms and other information regarding the sale and/or lease of condominium units in the Building.

3. Developer hereby acknowledges receipt of a deposit ("Deposit") from the undersigned "Interested Party" in the amount of five hundred dollars (\$500).

4. The Deposit shall be delivered to First American Title Insurance (Debbie Newton) ("Escrow Holder") located at 3625 Fourteenth Street, Riverside, CA, 92501 (Phone No. 951-787-1723, Facsimile No. 951-784-7956). Escrow Holder will deposit the check into a reservation account within 24 hours of receipt.

5. Unless such Deposit has been refunded prior to Developer's determination of pricing and other terms and conditions for the sale and/or lease of space in the Buildings, Developer shall provide to Interested Party pricing and terms for space in the Buildings. Interested Party shall then have forty eight (48) hours to provide evidence satisfactory to Developer that Interested Party is a qualified buyer in the discretion of Developer and fourteen (14) calendar days to enter into a purchase and sale agreement or lease with Developer. If the parties do not execute a purchase and sale agreement during that period, the Deposit shall be refunded and this agreement shall terminate.

6. Nothing in this document shall be construed to constitute an offer to Interested Party by Developer to lease or sell any portion of the Property to the Interested Party nor shall this document be construed as any agreement by Interested Party to enter into any lease and/or purchase and sale agreement with Developer.

7. Interested Party acknowledges that the Property is currently a single parcel and no portion thereof may be legally sold or transferred unless and until a tract map and condominium plan are recorded and the Property thereby subdivided for individual sale.

8. Should any dispute arise between the parties to this document that results in litigation, arbitration and/or any other form of dispute resolution, the prevailing party shall be entitled to an award of attorneys' fees in addition to any award of costs

9. The undersigned Escrow Holder agrees to hold the Deposit on the terms and conditions set forth herein and shall release/refund such Deposit to the Interested Party upon written request of Interested Party at any time, for any reason without further instruction of the parties but shall notify Developer upon a refund of such Deposit. Within 48 hours of refund of Interested Party's Deposit, Escrow Holder shall notify Developer of such refund and Interested Party shall no longer be entitled to priority.

10. In the event that Developer and/or Interested Party enter into any agreement for the lease and/or purchase and sale of any portion of the Property to Interested Party, Escrow holder shall apply such Deposit as instructed by the parties in any lease and/or purchase and sale agreement.

11. Interested Party has expressed interest in space of approximately _____ useable square feet for the following purpose: _____ in the Buildings.

12. Interested Party's Address and telephone are as follows:

Entity: _____
Address: _____
Telephone: _____
Fax: _____
Email: _____

13. Developer may take reservation deposits from multiple Interested Parties for the same space and/or uses. Where there is a duplication between multiple Interested Parties with respect to given space or uses, the Interested Party who first executed this form of Receipt for Reservation Deposit shall be given priority. In the event that an Interested Party with such priority fails to provide evidence of qualification or enter into a purchase and sale agreement or lease within the time specified above, the next Interested Party shall be given the opportunity to provide the required information and enter into a purchase and sale agreement or lease.

DEVELOPER:

OMNI MORENO VALLEY LLC,
a California limited liability company

Dated: _____

By: OWG MORENO VALLEY,
a California limited liability company
Manager

By: _____
Kip Dubbs, Manager

INTERESTED PARTY:

Print Name of Company/Interested Party

a _____
Print Name of Individual or Entity

Dated: _____

By: _____

Print name of Signer

Title: _____

By execution below, Escrow Holder acknowledges receipt of this document and agrees to comply with its terms, subject to any other standard form instructions Escrow Holder may require.

ESCROW HOLDER:

FIRST AMERICAN TITLE INSURANCE COMPANY,
a California corporation

Dated: _____

By: _____
Its: _____

First American Title Insurance
Valorie Libolt
3625 Fourteenth Street
Riverside, CA, 92501
Phone No. 951-787-1723
Facsimile No. 951-784-7956